



# CITY OF OAK PARK HEIGHTS

14168 Oak Park Blvd. N • Box 2007 • Oak Park Heights, MN 55082 • Phone (651) 439-4439 • Fax (651) 439-0574

## **ACCESSORY BUILDING REQUIREMENTS**

Should you have any questions after reading the following information, please call the Building Inspection Department at 651-439-4439 to discuss the topics of concern. We will do our very best to answer your questions in a simple, easy to understand manner.

**BUILDING PERMITS:** Building Permits are required for a detached accessory structure more than 120 square feet. Accessory structures less than 120 square feet require a Zoning Permit and may be in excess of the one detached structure permitted by the Zoning Code.

Zoning requirements for the construction of an accessory building can be obtained from our web site ([www.cityofoakparkheights.com](http://www.cityofoakparkheights.com)) in City Information, Ordinances, Section 401.15.D.

Gopher State One --- Call 651-454-0002 or 1-800-252-1156 at least two business days prior to digging footings for the foundation. E-mail address is [www.gopherstateonecall.org](http://www.gopherstateonecall.org).

### **RESPONSIBILITIES OF THE PROPERTY OWNER:**

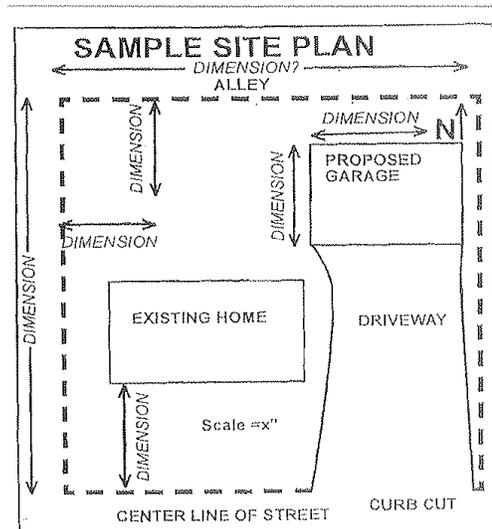
1. To be sure that a Building Permit has been issued for this construction project.
2. Verify that your Contractor is licensed with the State of Minnesota.
3. To locate property corner irons for the identification of the property lot lines.
4. To make sure all required inspections have been requested, made, and approved by the City's Building Official.

### **INFORMATION TO BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION FORM:**

With the Building Permit Application you will need to submit a survey or a scale drawing of a site plan, a building floor plan, cross sections, and an elevation plan of the structure. The following text and sample drawings show the minimum detail expected so the permit process can proceed smoothly. **Two sets of each plan is required** and should have all of the information requested.

### **SURVEY OR SITE PLAN:**

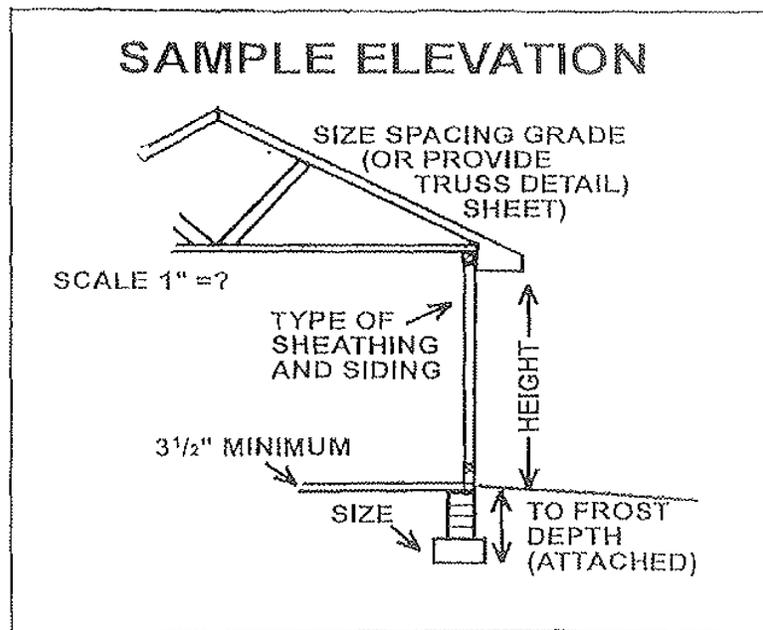
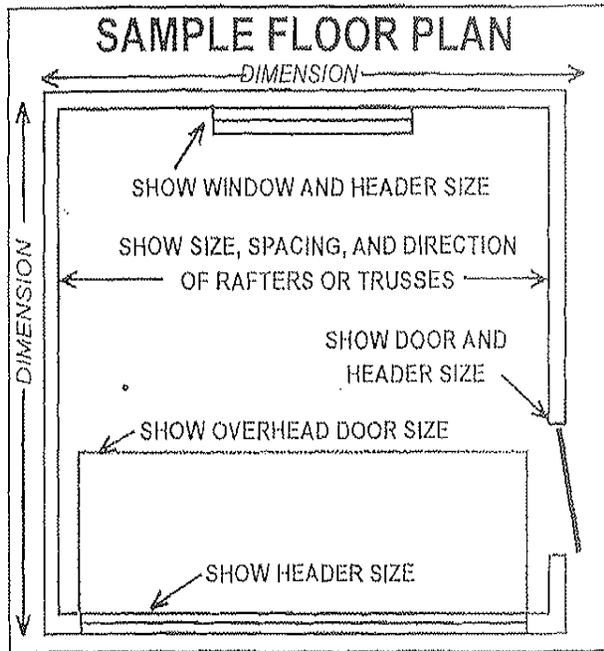
The Certificate of Survey or site plan shall be drawn to scale indicating the lot dimensions, the location and size of the existing structure(s), and the location and size of the proposed detached structure. Indicate the setbacks from property lines of the existing and proposed deck structure(s).



**FLOOR PLAN:**

**SIDE & REAR VIEW ELEVATION PLANS**

- |  |  |
|--|--|
| 1) Proposed size of the accessory structure. | 1) Show location of doors & windows.     |
| 2) Window and door location and size.        | 2) Indicate the height of the structure. |
| 3) Header sizes over openings.               | 3) Show wall height.                     |
| 4) Spacing and direction of roof structure.  | 4) Show depth of slab or footings.       |



**REQUIRED INSPECTIONS:**

1. **Footing:** After the footing is formed and steel properly put in place, but ***PRIOR TO THE POURING OF CONCRETE.***
2. **Framing:** To be made after all framing, blocking and bracing are in place, and prior to covering the wall and roof sheathing, so it is visible for an inspection.
3. **Final:** To be made upon completion of the accessory building.

**CALL FOR REQUIRED INSPECTIONS 24 HOURS PRIOR TO SCHEDULE APPOINTMENT TIME**

Leave your name, phone number, type of inspection needed, time for the inspection, and the project address.

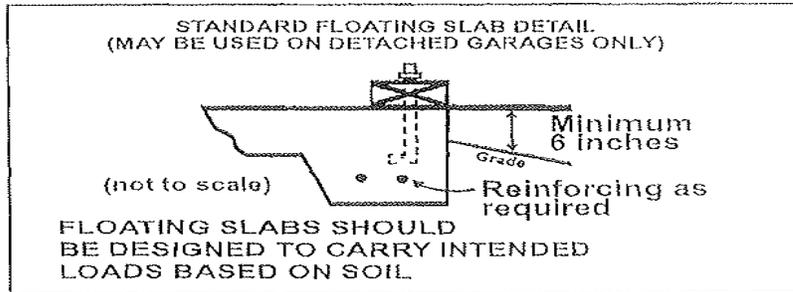
**GENERAL BUILDING CODE REQUIREMENTS**

**FOOTINGS:** Footings are to be dug to a minimum depth of 42 inches for frost protection.

**FLOATING SLABS:**

**ELEVATION:**

1. Height of structure from grade.
2. Size and depth of footings.
3. Wall and roof construction.

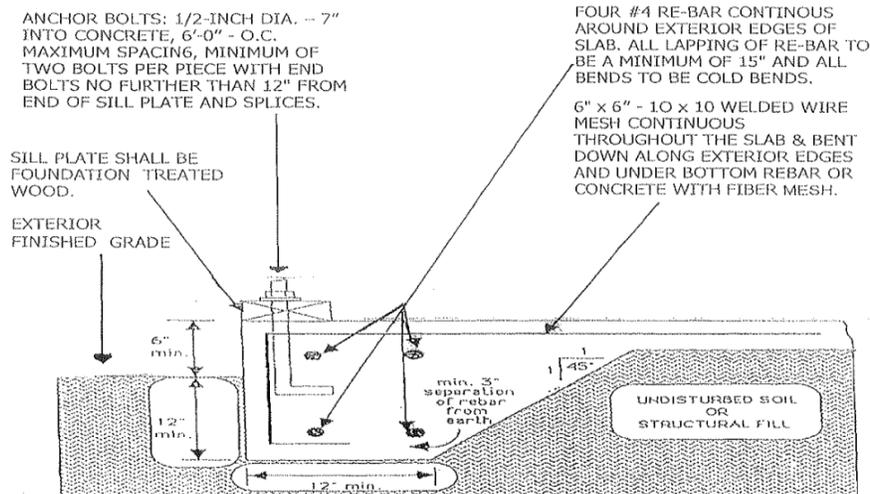


**REINFORCED THICKENED EDGE CONCRETE SLAB (Mono-Slab)**

The use of a thickened edge slab as a foundation for a detached one-story accessory building (U-1 Occupancy) shall be in accordance with the following design requirements:

1. Ground shall be level.
2. Slab shall be placed on undisturbed soil or approved structural fill.
3. Slab shall not be used on organic soil, very soft soil, muck, or expansive soil.
4. Remove all sod and foreign matter under slab.
5. Trench entire perimeter, including doorways.
6. Slab shall not be used to support isolated columns.
7. Slab shall not be used as a foundation system for structural additions.
8. Maximum area of any slab for a one-story accessory building shall be 1,000 square feet.
9. See cross-sectional detail below.

**Cross Sectional Detail**



**BUILDING CODE REQUIREMENTS:**

**Foundation:** (See drawings above for design criteria)

**Sill bolts or straps:** Foundation plates must be anchored to the foundation slab with not less than ½" steel bolts or approved straps embedded at least 7" into the concrete and spaced no more than six feet apart. There must be a minimum of two bolts for each piece of sill plate with one bolt located within 12" of each end of each piece of sill plate. Anchor straps shall be installed per manufacturer's specifications.

**Sill plates:** All foundation sill plates must be approved pressure-preservative-treated wood, heartwood of redwood, black locust, or cedar.

**Wall framing:** Minimum stud size is 2" X 4" and spaced not more than 24" on center. Corners to have a minimum of three studs and U shaped corners are preferred for wiring and insulation.

**Top Plate:** Bearing and exterior wall studs are to be capped with double top plates. They should provide overlapping members in the corners and at the intersection of other wall partitions. In addition, seams shall be a minimum of four feet apart to prevent hinge effects.

**Wall sheathing, roof sheathing, and siding:** Shall be installed per manufacturer's specifications. Wall sheathing is required to have a weather resistive barrier installed prior to the installation of the siding product.

**Wood and Earth separation:** Wood used in construction located less than six inches to the earth shall be treated or a weather resistive species.

**Roof Framing:** Size and spacing of conventional lumber used depends on roof pitch, span, type of material, and snow load and shall be designed accordingly. Rafters must be framed directly opposite each other. The ridge board shall be a minimum of 1" thick and not less in depth than the angled cut end of the rafter. Valley and hip rafters shall be a minimum of 2" thick and not less in depth than the angled cut end of the rafter. Rafters shall be nailed to the adjacent ceiling joist to form a continuous tie between exterior walls when joists are parallel to the rafters. Where ceiling joists are not parallel, the rafters must have cross bracing of a minimum size of 1" by 4" and a maximum spacing of four feet on center. Manufactured trusses shall be installed per manufacturer's specifications.

**Headers:** All shall be designed to carry the roof load.

**Electrical code:** Verify requirements for overhead power lines located above the structure. Existing lines may need to be raised, buried, or relocated.



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## ACCESSORY BUILDING PERMIT APPLICATION

**Contractor:** \_\_\_\_\_

Address: \_\_\_\_\_

City / State / Zip: \_\_\_\_\_

Phone #: \_\_\_\_\_ Fax # \_\_\_\_\_

State License #: \_\_\_\_\_ City License # \_\_\_\_\_

Lead Certification # \_\_\_\_\_ E-Mail \_\_\_\_\_

Project Supervisor: \_\_\_\_\_

Phone #: \_\_\_\_\_ E-Mail \_\_\_\_\_

**Owner:** \_\_\_\_\_

Address: \_\_\_\_\_

City / State / Zip: \_\_\_\_\_

Phone #: \_\_\_\_\_ E-Mail \_\_\_\_\_

### INFORMATION SUBMITTED WITH PERMIT APPLICATION:

\_\_\_\_\_ Survey \_\_\_\_\_ Site Plan \_\_\_\_\_ Building Plans (2 sets if larger than 11X17)

Type of Structure: Wood \_\_\_\_\_ Steel \_\_\_\_\_ Aluminum \_\_\_\_\_ Vinyl \_\_\_\_\_

Height of Structure (Grade to mid-point of gable) Feet: \_\_\_\_\_

Distance of structure to the property line:

\_\_\_\_\_ ft. Front Yard \_\_\_\_\_ ft. Rear Yard \_\_\_\_\_ ft. Side Yard \_\_\_\_\_ ft. Side Yard \_\_\_\_\_

Separate permits are required for electrical, plumbing, and heating. This permit becomes null and void if work or construction authorized has not commenced within 180 days, or if work is suspended or abandoned for a period of 180 days. I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

**Date:** \_\_\_\_\_

**Applicant's Signature** \_\_\_\_\_

**Project Address** \_\_\_\_\_ **Valuation** \_\_\_\_\_

### FOR OFFICIAL USE ONLY

Building Permit \$ \_\_\_\_\_ Plan Review \$ \_\_\_\_\_ State Surcharge \$ \_\_\_\_\_

Investigation Fee \$ \_\_\_\_\_ Other Fees \$ \_\_\_\_\_

**TOTAL PERMIT FEE \$ \_\_\_\_\_**